



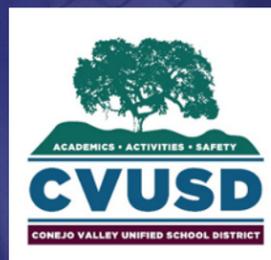
CVUSD | *Facilities Master Plan*

CVUSD – THOUSAND OAKS CLUSTER SURVEY

Horizon Hills School | *Survey*

33 Greta Street, Thousand Oaks, CA 91360
Conejo Valley Unified School District

November 1, 2016 – DRAFT v1



Dougherty + Dougherty
Architects

3194 Airport Loop #D | Costa Mesa,
92626

Contact: (714) 427 - 0277

E-mail: ericp@ddarchitecture.com

Website: www.ddarchitecture.com

Existing Site Summary

Neighborhood:

Horizon Hills School is located in the City of Thousand Oaks on a 13.3 acre site bound by Greta Street (south), and Drayton Avenue (east). The major intersection is Greta Street and Avenida De Las Flores. The 23 freeway runs immediately east of the campus.

Instruction:

The school currently is part of the adult education program in the district and it serves an array of ages from preschool and parenting courses to adult education courses. The school has a pre kindergarten to age 5 for parents and kids, encompassing child/parent courses as well as single grade and mixed grade courses. In addition, there is a parenting program where parents are taught the fundamentals of raising children. There is also a whole series of adult education classes as well as community health classes that are offered in the southern building on campus, which is also where the multi purpose space is.

Summary of Facilities:

The main core buildings on the campus were built in 1968 which along with an exterior shaded courtyard create enjoyable exterior learning environment. An additional uncertified modular building was added in 2000, which currently has no plumbing hook ups. No major construction of buildings has occurred after the 2000.

The exterior landscaping and environment has received upgrades from the tenants of the school, but these have been superficial only. No major upgrades to systems or buildings have been made by the current tenants. The classroom finishes are very old, but are satisfying the needs of the current users.

There are a number of projects that have recently been completed or are in construction that include some access compliance, HVAC replacement, and LED lighting upgrades

Building Systems:

The major building systems are original including, water, sewer and gas and are need of replacement. The HVAC system was renovated in 2006 and most of the roof was renovated in 2006 and 2008 with exception of classroom building 3 which has not been touched since 1992 and is in need of replacement.

Technology:

The site includes the Wi-Fi in every classroom, as well as projectors in all classrooms the campus has a computer lab for the older students needs. The campus makes an effort to be on the cutting edge of technology advancements in curriculum tools to enrich the lives of the students.

Energy:

The existing air handling units and cooling towers are beyond their life-cycle and will require replacement. Although they have been repaired they are old and in need of replacement. The entire campus has received an LED lighting upgrade which included occupancy sensors in every room. That has yielded a lower campus wide energy demand.

There is an opportunity for solar power generation as well to offset some of the energy demands of the school.

Site Attributes:

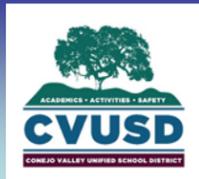
- Durable Masonry Construction Buildings
- Well Planned Shaded Courtyards with turf and play equipment
- Large recently updated Auditorium Space
- Mature enjoyable landscape and exterior environment
- Large parking are to accommodate parents and students

Site Deficiencies:

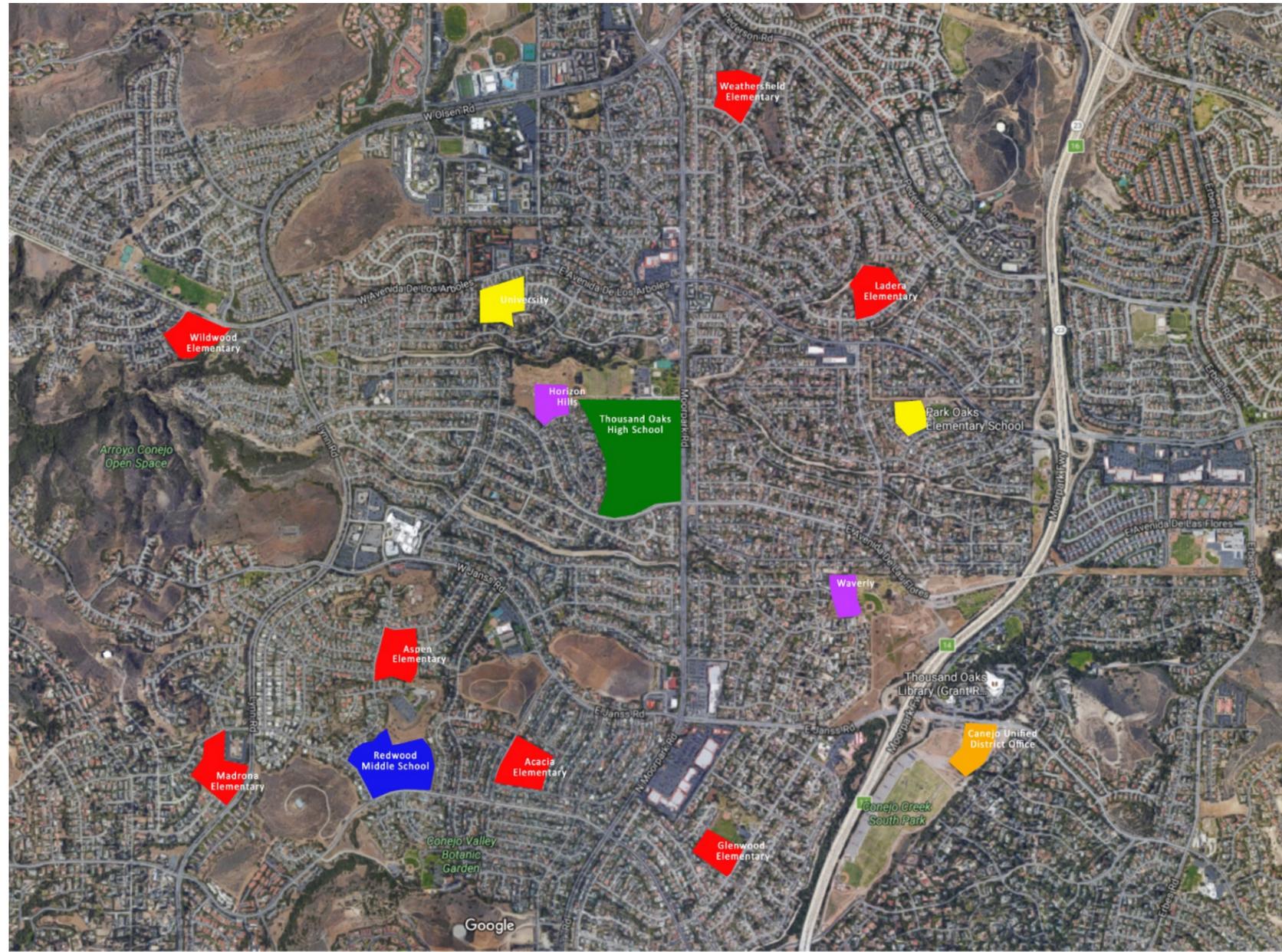
- Existing classroom finishes are old and outdated
- No clear entry point from street
- Flooding and drainage issues
- Electrical capacity is insufficient to current demand of campus
- Portable Building has no plumbing connection
- Need for accessibility upgrades

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CVUSD Thousand Oaks Cluster



Legend

- Elementary School
- Middle School
- High School
- Other (Adult Education, Early Education)
- Charter, Non K-12
- District Office

CVUSD Thousand Oaks Cluster Sites

LOCATION CODE	SITE NAME	SCHOOL MANAGEMENT SERVICES SITE TYPE	GRADE LEVEL CONFIG
1 010	ACACIA ELEMENTARY	Elem. School	TK- 5
3 020	ASPEN ELEMENTARY	Elem. School	TK- 5
13 080	GLENWOOD ELEMENTARY	Elem. School	TK- 5
14 090	HORIZON HILLS	Pre K, Adult ED	MISC.
15 100	LADERA ELEMENTARY	Span Magnet	K- 5
18 120	MADRONA ELEMENTARY	Elem. School	TK- 5
23 170	PARK OAKS (BRIDGES)	Elem. School (Charter)	K- 5
24 180	REDWOOD MIDDLE SCHOOL	Middle School	6-8
27 200	THOUSAND OAKS HIGH SCHOOL	High School	9-12
29 220	UNIVERSITY	Elem. School	TK-5
31 240	WAVERLY	Adult ED / Special ED	MISC.
32 250	WEATHERSFIELD ELEMENTARY	Elem. School	TK-5
36 290	WILDWOOD ELEMENTARY	Elem. School	K-5
12 000	DISTRICT OFFICE	NA	NA
14	Totals Sites		

Community Resources

DESCRIPTION	LOCATION	CITY
Thousand Oaks Community Ctr.	2525 N Moorpark Road	Thousand Oaks
Thousand Oaks Community Park	2525 N Moorpark Road	Thousand Oaks
Conejo Valley Shopping Center	Moorpark Road	Thousand Oaks
Conejo Valley Art Museum	197 N Moorpark Road	Thousand Oaks
Conejo Community Center	1175 Hendrix Avenue	Thousand Oaks
Spring Meadows Park	3283 Spring Meadow Avenue	Thousand Oaks
Conejo Creek Equestrian Park	1350 E Avenida De Las Flores	Thousand Oaks
Glenwood Park	Windsor Drive	Thousand Oaks
Thousand Oaks Library	1401 E Janss Road	Thousand Oaks
Los Robles Hospital	215 W Janss Road	Thousand Oaks

Horizon Hills School | Survey
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 November 1, 2016 Draft v1

Cluster Context Map

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2.0





Horizon Hills School | Survey

33 Greta Street | Thousand Oaks, ca 91360

Conejo Valley Unified School District

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Project Location Map

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FACILITIES - CLASSROOM INVENTORY																				
K-12 School Facility	Grade/Type	Number of Teaching Stations						Projections												
		Total # of Teaching Stations	Permanent	Modulars			Capacity	Teaching Stations												
				Quality Modulars	Owned Portables	Leased Portables		Rms Utilized	Ratio	Capacity Needed										
As used for the 15/16 School Year										Based on 16/17										
	9 - 12	95	91		4		2850	77	30.00	2315										30
	SDC	10	2		8															30
PE = 1/6 of Population	PE	0					435	0	0											30
	Free	-10	93			0	-300	-10	10											
Sub-Total 6-8		95					2985	77		2315										
ENROLLMENT HISTORY																				
Grade	2017	2016	2015	2014	2013	2012	2011	2010	2009	2008	2007	2006	2005	2004	2003	2002	2001	2000	1999	1998
9		498	519	615	535	581	547	609	666	592	648	624	662	686	680	720	631	666	680	627
10		507	606	546	582	547	594	661	582	649	638	652	673	662	690	649	663	657	631	577
11		603	538	574	522	601	640	536	626	590	622	649	644	644	604	638	623	602	557	594
12		511	554	519	571	626	540	566	560	609	623	610	631	552	603	589	575	513	564	545
Total 9-12	0	2119	2217	2254	2210	2355	2321	2372	2434	2440	2531	2535	2610	2544	2577	2596	2492	2438	2432	2343
Special Ed	0	79	72	85	74	73	94	99	88	63	59	48	49	64	59	48	47	49	34	39
TOTAL	0	2198	2289	2339	2284	2428	2415	2471	2522	2503	2590	2583	2659	2608	2636	2644	2539	2487	2466	2382
PRINCIPAL PROJECTIONS																		Opt 1	186.00	186.01
Grade	FORECAST		4/30/15	Carried from previous	8/19/15	TBD	Teacher Calculation			Budget Acctg Calc										
	Students	Teachers					By Grade	Totals x	Students											
Special Ed			85	85	85															
9	568	18.93	510	510	545	17.00		30												
10	548	18.27	610	610	639	20.33	77.17	30		81										
11	607	20.23	635	635	564	21.17		30												
12	526	17.53	560	560	578	18.67		30												
Total 9-12	2249		2315	2315	2326															
TOTAL	2249	74.97	2400	2400	2326					81										

CVUSD ELEMENTARY SCHOOL										Location Code: 14 090			Campus Summary			
Site Information		Totals			Total Planned Site Capacity:					Totals						
Current Useable Area:		19.7 Acres			Current Enrollment:					2,300						
Current Playground Area:		7.5 Acres			Planning 2-Semester Capacity:					2,131						
					Enrollment to use for Planning					1,808						
Playground Area Required:		9.0 Acres			Current Classrooms		Potential Classrooms + Current Classrooms			Classrooms Identified by the School						
Classroom Status for School:		Permanent	Portable	Totals	Permanent	Portable	Totals	Permanent	Portable	Totals						
Available Classrooms 800 Square Feet or greater:		25	20	45	25	20	45	22	15	37						
Available Small Rooms 799 Square Feet or smaller:		30	20	50	30	35	65	30	20	50						
Totals:		55	40	95	55	55	110	52	35	87						

CVUSD MAGNET SCHOOL										Location Code: 5000			Campus Summary			
Site Information		Totals			Total Planned Site Capacity:					Totals						
Current Useable Area:		Shared			Current Enrollment:					20						
Current Playground Area:		Shared			Estimated 2-Semester Capacity:					25						
					2013-14 Adjusted Projected Resident & Magnet Enrollment.					30						

CVUSD SPECIAL EDUCATION SCHOOL										Location Code: 3000			Campus Summary			
Site Information		Totals			Total Planned Site Capacity:					Totals						
Current Useable Area:		Shared			Current Enrollment:					10						
Current Playground Area:		Shared			Estimated 2-Semester Capacity:					9						
					2013-14 Adjusted Projected Resident & Magnet Enrollment.					10						

Analysis:

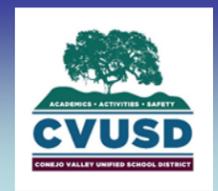
Add Campus Summaries as required for each existing school on a site .

Enrolment Data:

•For Secondary Schools
 Classrooms 800 Square Feet and greater will be considered an "Available Classroom". On the color coded survey plan they can occur as BASIC CLASSROOM (Orange); SPECIALITY CLASSROOM (Light Blue); SCIENCE (Yellow).
 If the rooms are being used for instruction and they are 799 Square Feet and under, they will be considered a "Small Room", with a different Color Code. Provide a description in the keynote as to its current use.

•For Elementary Schools
 Classrooms 720 Square Feet and greater will be considered an "Available Classroom". On the color coded survey plan they can occur as BASIC CLASSROOM (Orange); SPECIALITY CLASSROOM (Light Blue); SCIENCE (Yellow).
 If the rooms are being used for instruction and they are 719 Square Feet and under, they will be considered a "Small Room", with a Different Color Code. Provide a description in the keynote as to its current use.

For Span and other types of Schools
 Identify what age group the space is used for the majority of the day – use rules above for Secondary Schools and Elementary Schools. Provide a description in the keynote as to its current use.





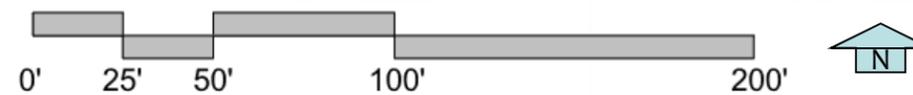
LEGEND

- PERMANENT
- PORTABLE
- SAND BOX PLAY AREA
- X BUILDING NUMBER
- PRIMARY POINT OF ENTRIES

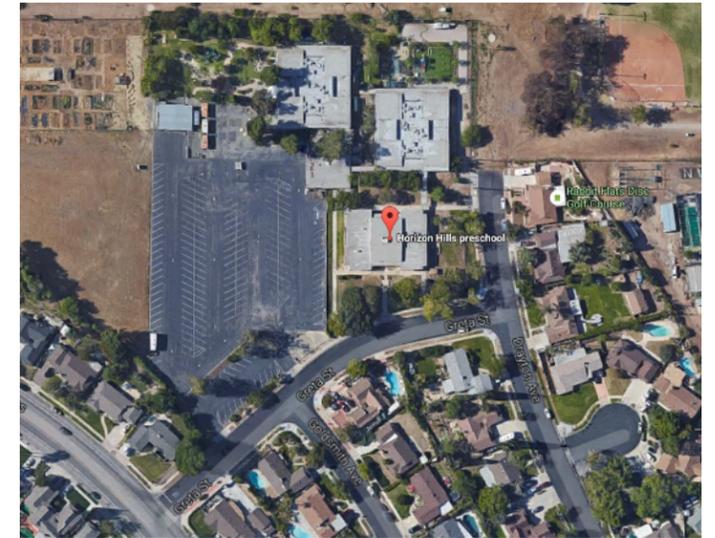
BUILDING

- 1- MULTI PURPOSE BUILDING
- 2- CLASSROOMS
- 3- CLASSROOMS
- 4- CLASSROOM (MODULAR)
- 5- RESTROOMS

EXISTING SITE PLAN | HORIZON HILLS SCHOOL
PERMANENT AND PORTABLE BUILDINGS



School District Site Name	School District Building Name	Building Rating Classification	Square Footage	Fire Const. Code	Fire Const. Type	Sprinkler	Fire	Alarm	Roof	Year	Year Renovated			Status	Vacant	Flood	Zone	Map Date	
						Y/N	Y/N	Local/Central	Type	Built	Roof	HVAC	Elec		Plumb	Is Vacant Y/N	Risk		Code
Horizon Hills - Pre School	1-Multipurpose	Elementary	7,674	2	Joisted Masonry	No	Yes	L	Composition	1968	2008	2006	2006	1968	Owned and occupied by the district	N	NS	X	1/20/2010
Horizon Hills - Pre School	2-Classrooms	Elementary	8,595	2	Joisted Masonry	No	Yes	L	Composition	1968	2008	2006	2006	1968	Owned and occupied by the district	N	NS	X	1/20/2010
Horizon Hills - Pre School	3-Classrooms	Elementary	8,595	2	Joisted Masonry	No	Yes	L	Composition	1968	1992	2006	2006	1968	Owned and occupied by the district	N	NS	X	1/20/2010
Horizon Hills - Pre School	4-Classroom	Portable	1,440	5	Modified Fire Resistive	No	Yes	L	Composition	2000	2000	2000	2000	Owned and occupied by the district	N	NS	X	1/20/2010	
Horizon Hills - Pre School	5-Restrooms	Elementary	1,672	2	Joisted Masonry	No	Yes	L	Composition	1968	2006	2006	2006	1968	Owned and occupied by the district	N	NS	X	1/20/2010



Existing Facilities:

4 buildings are over 40 years old

Analysis Summary:

The existing campus has been well maintained over the years but has received less funding in recent years for upgrades after the school was closed and converted into the new program. They did receive a campus wide LED lighting upgrade, but the current electrical capacity is maxed and causes them to have issues with breakers flipping. The campus needs electrical upgrades in both appliances and infrastructure which could help alleviate the electrical capacity issues.

The original buildings have aged well due to their masonry construction, the roof of building 3 is in need of replacement and the HVAC systems is very old and in need of replacement as well.





LEGEND

- PRIMARY POINT OF ENTRIES
- ADMINISTRATION
- CHILD CARE
- CLASSROOM
- MULTI PURPOSE
- OPERATIONAL SUPPORT
- SUPPORT SPACES
- VACANT CLASSROOM

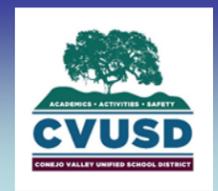
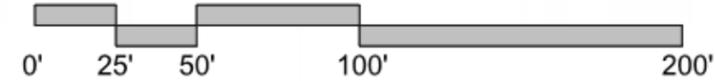
SITE IMPROVEMENT KEY NOTES

- 1 PLUMBING AND WATER HOOK UP NEEDED
- 2 DRAINAGE ISSUES, UNDERGROUND DRAINAGE NOT WORKING, LOCATION NEED TO BE REWORKED
- 3 NEEDS HANDRAIL TO CREATE ACCESSIBLE PATH OF TRAVEL TO UPPER BUILDINGS
- 4 MAJOR ACCESS POINT TO SCHOOL NOT ACCESSIBLE. NEED TO CHANGE GATE

SITE IMPROVEMENT GENERAL NOTES

- OLDER CLASSROOMS WILL NEED ACCESSIBILITY UPGRADES ON HARDWARE THRESHOLDS AND SINKS
- EXTERIOR DRINKING FOUNTAINS WILL NEED TO BE MADE ACCESSIBLE
- ACCESSIBILITY UPGRADES NEEDED IN PARKING, GATE LOCATIONS, DOORS, AND SOME PATHWAYS
- SOME ACCESSIBILITY UPGRADES NEEDED IN RESTROOMS TO BECOME FULLY COMPLIANT

EXISTING SITE PLAN | HORIZON HILLS SCHOOL BUILDING USE



Horizon Hills School | Survey
 33 Greta Street | Thousand Oaks, ca 91360
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6.0



LEGEND

- PERMANENT
- PORTABLE
- SAND BOX PLAY AREA
- X BUILDING NUMBER
- O PRIMARY POINT OF ENTRIES

BUILDING

- 1- MULTI PURPOSE BUILDING
- 2- CLASSROOMS
- 3- CLASSROOMS
- 4- CLASSROOM (MODULAR)
- 5- RESTROOMS

EXISTING SITE PLAN | HORIZON HILLS SCHOOL
PERMANENT AND PORTABLE BUILDINGS

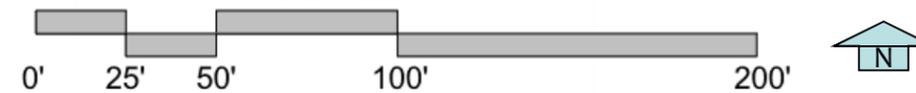


IMAGE REFERENCE

Horizon Hills School | *Survey*
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Existing Campus Image Key Map

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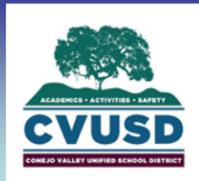




Photo -1
Building 5
 Primary entry location next to restrooms. Difficult to see from street.

Photo -2
Building 1
 Multi Purpose building at the front of campus. Secondary entry point to campus through the multi purpose building.

Photo -3
Building 3
 Shaded courtyard with artificial turf and preschool playground equipment. Nicely landscaped and well protected from the sun.

Photo -4
Building 2
 Backside of building 2 is a playground area with artificial turf and play equipment. The equipment is well maintained.



Photo -5
Building 2
 Sand box next to playground area has shade device and play equipment.

Photo -6
Building 3
 Gated entry to exterior landscaped area between building 3 and portable, newly updated with pavers and lush landscape.

Photo -7
Building 3
 Exterior landscaped area between building 3 and portable, newly updated with pavers and lush landscape.

Photo -8
Building 2
 Gutter system of building has been reworked but is currently spilling water on ground surface and then diverted to storm drains.



Photo -9
Building 3
Existing concrete pathways around the campus are old and cracking



Photo -10
Building 2
Covered concrete walkway between building 2 and 5 is very steep and does not comply with accessibility standards

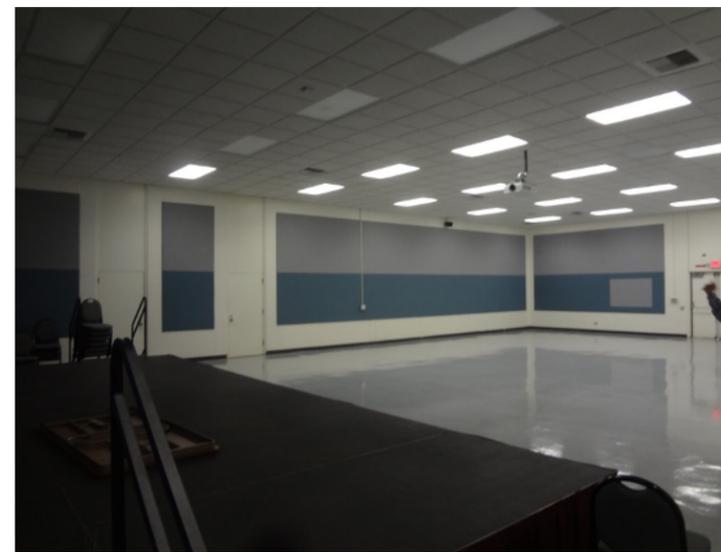


Photo -11
Building 1
Multi Purpose room with temporary stage. The temporary stage is borrowed from a different campus, school is in need of their own permanent stage



Photo -12
Building 1
Multi Purpose room has been recently updated with new fixtures and lighting. The PA system is in good working order.

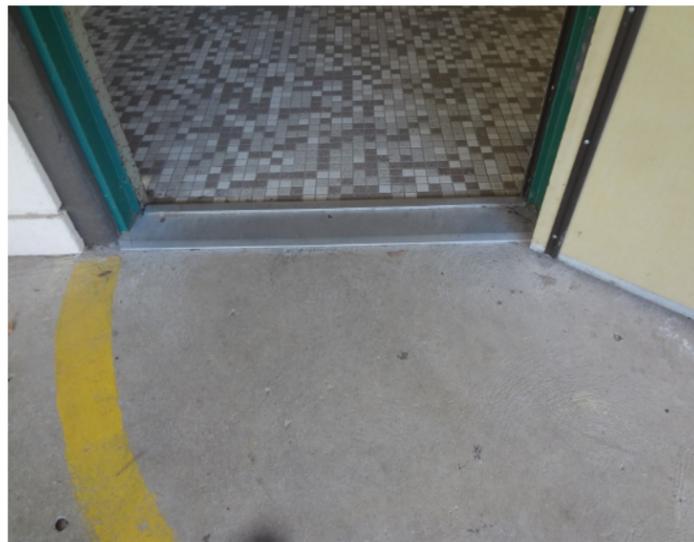


Photo -13
Building 5
Typical thresholds have been updated throughout the campus



Photo -14
Building 2
New roof drainage to combat issues with ground drainage not working



Photo -15
Building 1
Interior Staff room in the multi purpose building that has older finishes and no accessibility upgrades



Photo -16
Building 1
Typical room in the multi purpose building used for unique classes like sewing



Photo -17
Building 2
Typical classroom with unique play equipment has updated floor finishes and good play equipment. Casework and sinks have not been upgraded



Photo -18
Building 2
Typical classroom with unique layout for pre-birth parenting classes, has updated floor finishes and good play equipment. Casework and sinks have not been upgraded

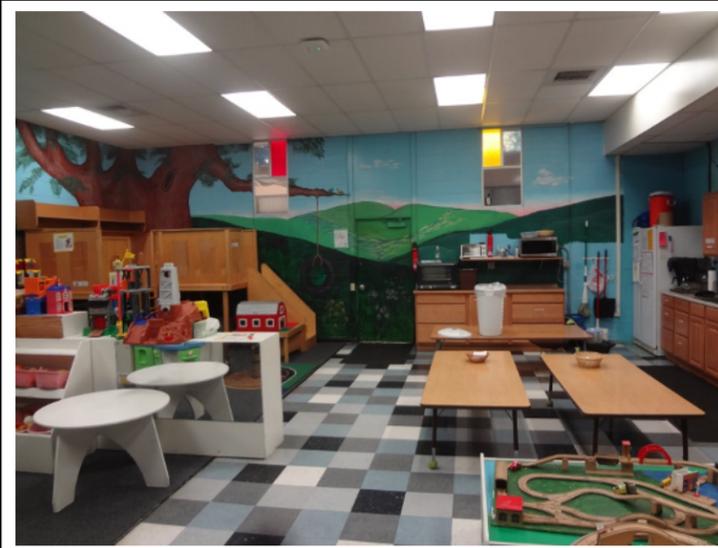


Photo -19
Building 2
Typical classroom with unique play equipment has updated floor finishes and good play equipment. Casework and sinks have not been upgraded



Photo -20
Building 4
Portable classroom building is relatively new, but has no plumbing connection



Photo -21
Building 3
Typical sink in classrooms, not current with accessibility standards



Photo -22
Building 2
Staff room has newer floor finishes, Casework and sinks have not been upgraded



Photo -23
Building 2
Typical classroom with unique play equipment has updated floor finishes and good play equipment. Casework and sinks have not been upgraded, has additional sink/kitchen area



Photo -24
Building 2
Typical classroom with unique play equipment has updated floor finishes and good play equipment. Casework and sinks have not been upgraded

Classes Are Parent Participation

Core Classes Offered

Parent & Infant

0-6, 6-12, 12-18 months

Parent & Toddler

18-30, 24-36 months

Classes meet once per week.

Multiage (3-5 year olds)

Classes meet 2, 3, or 5 days a week.
1:4 adult/child ratio.

On-site kiln for hands-on ceramics.

Additional Classes

Pre-Birth Parenting

Baby Massage

Afternoon Enrichment Activities

Saturday Classes

Evening Parenting Classes

One-on-one Consultation

Parent Workshops & Discussions

Extended Day Picnic Pals



Conejo Valley Adult Education
A Division of the
Conejo Valley Unified School District

**Parenting Program
& Preschool
At Horizon Hills**

A Parent Participation
Preschool & Parent Center



A play-based preschool
where the parents learn
right along with their children

Horizon Hills Campus
33 Greta Street, Thousand Oaks
(805) 492-8837
www.conejoadultschool.org

Welcome to the Conejo Valley Adult School Parent Education Program
Early Childhood Center

Celebrating 25 years at Horizon Hills

Come For Your Child, Stay For Yourself

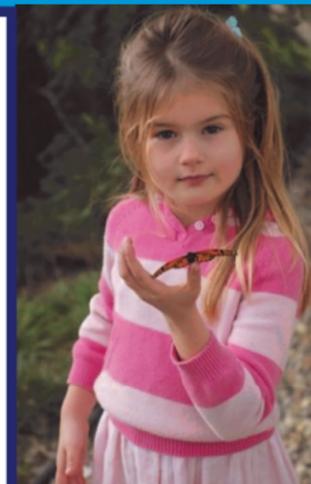
The Parenting Program offers a unique experience in learning.

For Parents

We educate parents in raising self-reliant, well-balanced children.

We utilize research-based child development techniques to help parents build a solid parenting foundation.

We empower parents to become advocates for children.



For Children

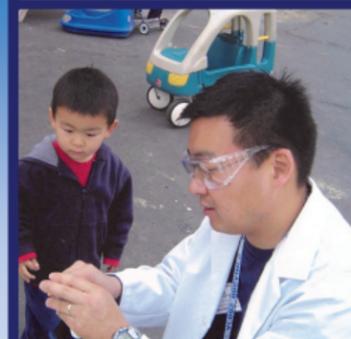
We embrace the wonder and joy of learning inside every child.

We know the key to readiness comes from within; therefore we provide learning experiences through child-directed exploration, problem solving, and socialization using proven early childhood methods and research.

For Families

We support families by providing a 650+ family network offering a wealth of opportunities for friendship and family connections.

Join us in our unique setting that provides a supportive community for you and your child.

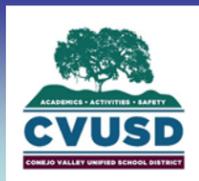


**Horizon Hills School
Parenting Program**

This program is a true asset to the district, it offers a unique curriculum where parents come and assist with their children's pre education experience while at the same time being educated themselves on how to be a better parent. It offers bonding time with the parents and their children which is crucial to a child's development.

There are many different courses and none of them are prerequisites of each other which means that a child can enter the program at any point which is attractive to new students

The diversity of this program is what makes it a true magnet program offering parents a unique curriculum. While this program is similar to a charter program it is district run, after the children get older they will go to a district school, which means that this program is attracting children and parents to the district.





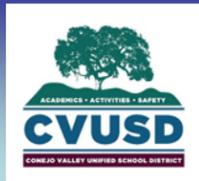
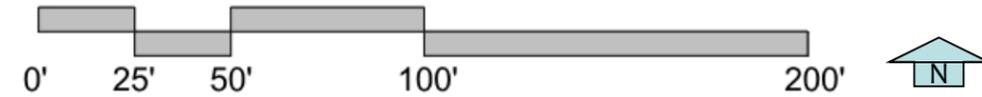
LEGEND

- CERTIFIED
- NOT CERTIFIED
- SAND BOX PLAY AREA
- X BUILDING NUMBER
- PRIMARY POINT OF ENTRIES

BUILDING

- 1- MULTI PURPOSE BUILDING
- 2- CLASSROOMS
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EXISTING SITE PLAN | HORIZON HILLS SCHOOL
DSA CERTIFICATION REQUIREMENTS



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Facility Certification Requirements

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Site Challenges:

In its current condition, Horizon Hills School faces many challenges, the most pressing of which are directly related to aging buildings systems and drainage issues on site. The program is run quite differently than a traditional program in the district. This unique set up creates a very efficient operation that does not require some of the typical resources that other educational programs need. This would include the need for extensive playground area, multi purpose and assembly space as well as kitchen facilities. The campus does have these extra facilities but the spaces are used by the adult education portion of the campus.

ADA accessibility upgrades are needed to the main administration / auditorium / classroom buildings. In addition, accessibility upgrades to site / building drinking fountains and accessibility upgrades to access gates and building signage. Must be addressed during the modernization of the campus.

Site Modernization Opportunities:

Campus improvement opportunities as follows:

Modernization consists of projects targeted at improving the educational environment of classrooms and academic spaces, is developed around improving the overall condition and appearance of classrooms in permanent and portable facilities. The majority of this work is targeted at infrastructure related issues through campus, dealing with an old HVAC system and roofing upgrades. In addition, the roof drainage issues needs to be addressed.

Improvements in support spaces and arts spaces should advance the extracurricular components of the academic program. Specific improvements are targeted at providing plumbing infrastructure to the portable building on site as well as enhancing some of the finishes and casework in the classrooms. Improvements targeting boys and girls restrooms include minor cosmetic repairs such as patching damages and new paint throughout.

The modernization can be approached and structured on three levels: site infrastructure, site and building accessibility and building systems. Improvements to site infrastructure as stated earlier are intended to improve the efficiency of the buildings as well as handle the drainage issues that are present on the site. Improvements targeted at accessibility are to bring the campus to full compliance with current accessibility standards. Some of these improvements include new site and building signage, replacement of non-accessible door hardware, upgrade of student restrooms to include accessible stalls and fixtures and accessible entries to portable buildings. Improvements to building systems include the replacement of the HVAC system on all permanent buildings and on portable buildings without any pending HVAC upgrade.

In conjunction with the modernization is the need to enhance the aesthetics of the campus by creating an attractive new entry for the pre school area of the campus that will not only enhance the aesthetics of the campus as a whole but will also improve the wayfinding of the program making the entrance visible from the street.

LEGEND

- PERMANENT
- PORTABLE
- SAND BOX PLAY AREA
- X BUILDING NUMBER
- PRIMARY POINT OF ENTRIES

BUILDING

- 1- MULTI PURPOSE BUILDING
- 2- CLASSROOMS
- 3- CLASSROOMS
- 4- CLASSROOM (MODULAR)
- 5- RESTROOMS





Image 1: Primary Entrance for Parent School Program



Image 2: Secondary Entrance through Adult School Building



Circulation Diagram



BUILDING

- 1- MULTI PURPOSE BUILDING
- 2- CLASSROOMS
- 3- CLASSROOMS
- 4- CLASSROOM (MODULAR)
- 5- RESTROOMS

 IMAGE REFERENCE



Photo -1
The current parking lot has accessible stalls, however they do not have detectable warnings and the pathway requires the pedestrians to use the parking lot to access the site.

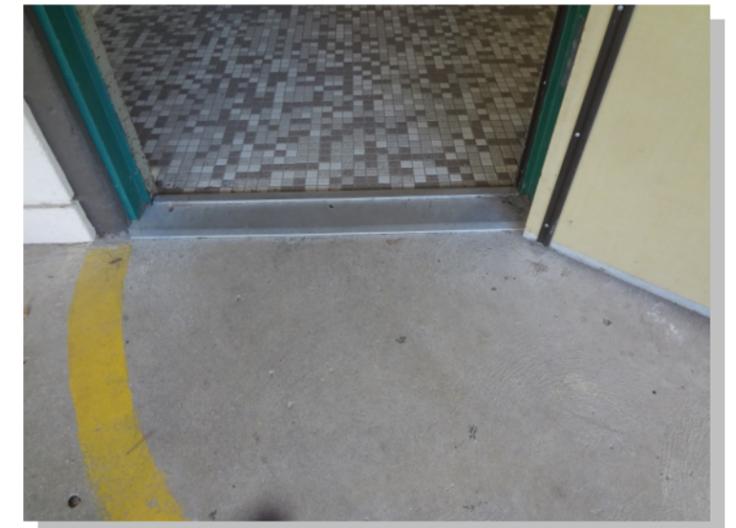


Photo -2
Door thresholds throughout campus have been upgraded to accessibility compliant thresholds



Photo -3
The building sinks have not been upgraded to comply with accessibility standards



Photo -4
Currently there is no accessible path of travel to building 2, some minor modifications to one of the paths leading to the building will create an accessible pathway

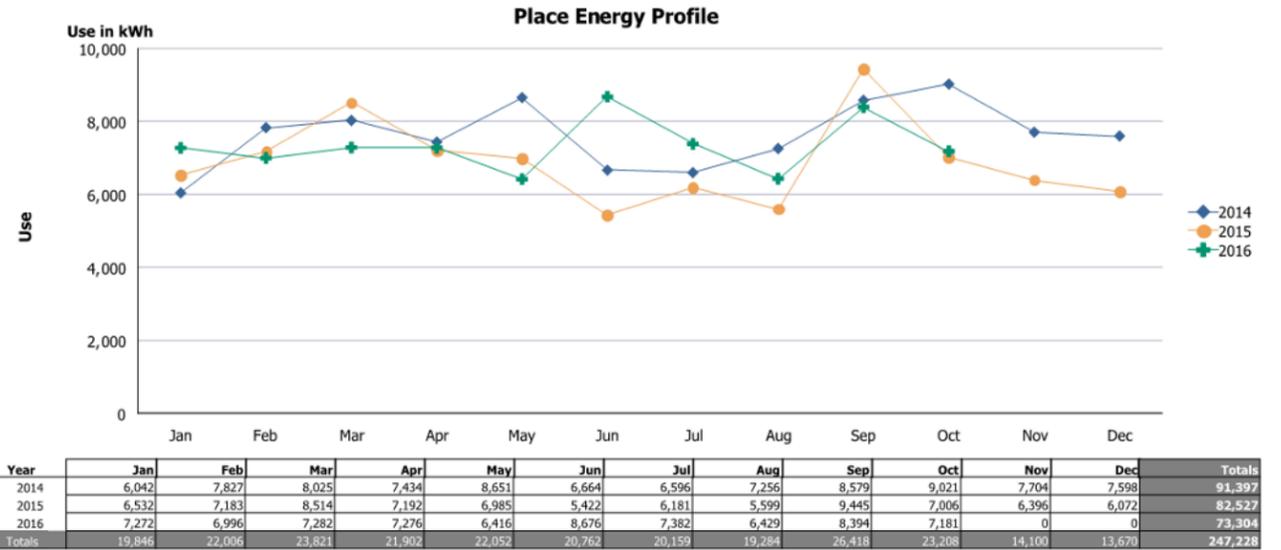
Energy Use Summary:

Currently the largest energy demand is the electrical use to power the HVAC system. The campus has received a LED lighting upgrade along with occupancy sensors to improve the efficiency of the lighting system. However improvements can still be made when the HVAC system is replaced to improve the efficiency of the overall system. In addition to this there is solar power generation opportunities on the site due to the dry climate and ample sun and roof exposure.

[HORIZONHILLS_1] Horizon Hills						
Water	243	CCF	\$652	\$1,646	\$(993)	(152.2%)
Totals:	182	KGAL	\$652	\$1,646	\$(993)	(152.2%)

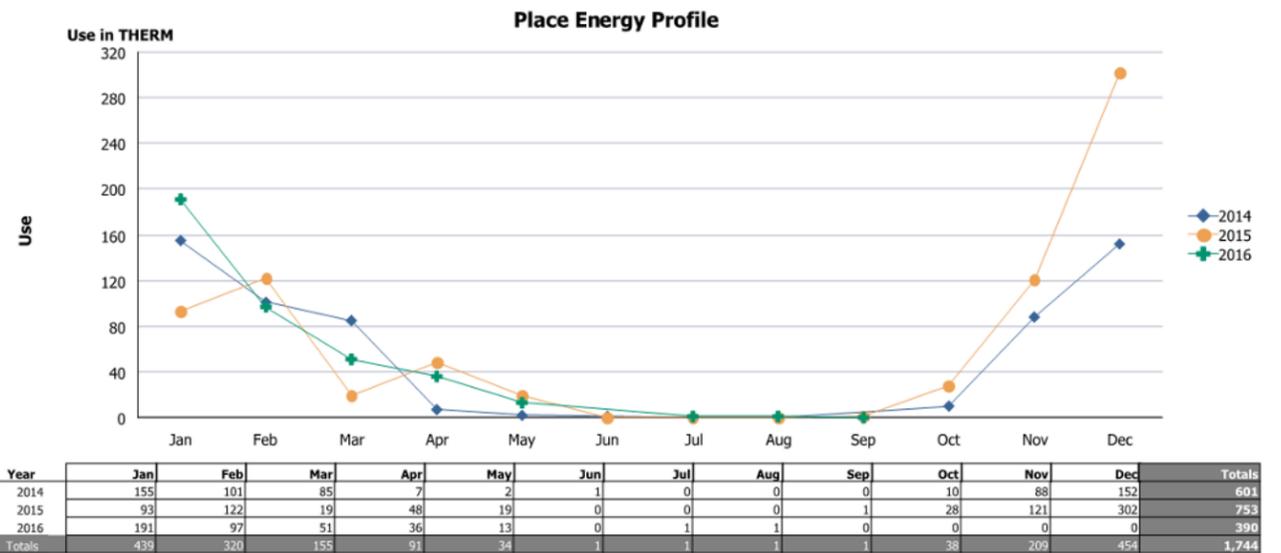
Conejo Valley USD - CA						
Place: [HORIZONHILLS_1] Horizon Hills						

Conejo Valley USD - CA						
Place Energy Profile AN - 02						
Place: [HORIZONHILLS_1] Horizon Hills						

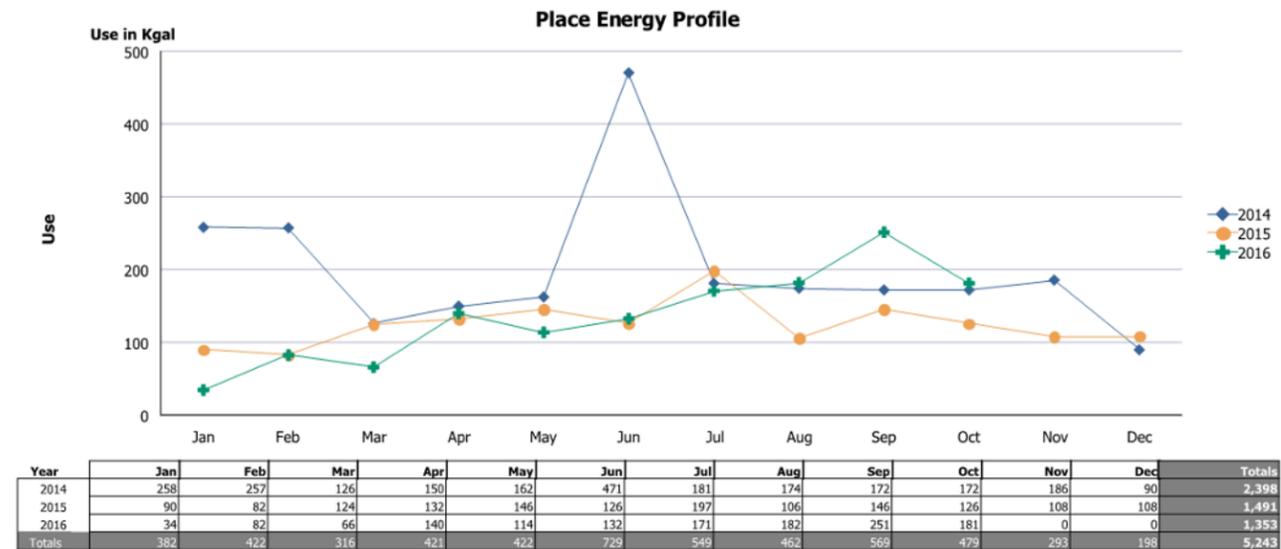


Electrical:

Conejo Valley USD - CA						
Place Energy Profile AN - 02						
Place: [HORIZONHILLS_1] Horizon Hills						



Gas:



Water:

Horizon Hills School | Survey
 33 Greta Street | Thousand Oaks, ca 91360
 Conejo Valley Unified School District
 November 1, 2016 Draft v1

Energy Use

DRAFT v1

11.0



Core Facilities			
Item	Category	Existing Square Footage	Standard Square Footage Based on Planning 2- Semester Capacity
1	Multi Purpose Building	7674 Square Feet *	00 Square Feet
2	Classroom Building	8595 Square Feet *	00 Square Feet
3	Classroom Building	8595 Square Feet *	00 Square Feet
4	Classroom Building	1400 Square Feet	00 Square Feet
5	Bathroom Building	1600 Square Feet	00 Square Feet
6	Playground	1.5 Acres	00 Acres
7	Parking	189 Stalls	00 Stalls

*(Office Square Footage)

This calculation includes the Front Office/Main Office; Waiting Room/Space; Conference Room; Administrative Offices.

Core Facilities Summary

1. Multi Purpose Building
 The mutli purpose building has been recently upgraded and the finishes are relatively new. The existing kitchen facilities are not in use and some of the building has been converted to additional administration offices.

2. Classroom Building
 The classroom building has 2 classrooms that are empty and 1 classroom that is used as a staff lounge and meeting room. The facility has had recent HVAC retrofits and roofing replacements. There is currently no wheel chair accessible path to the building but this can be corrected with a minor change to one of the pathways. The casework is old and the sinks have not been upgraded to comply with accessibility standards.

3. Classroom Building
 The facility has not had a recent HVAC retrofit or roofing replacement. The casework is old and the sinks have not been upgraded to comply with accessibility standards. The main administration/reception office is located in this building and there is an additional vacant classroom .

4. Classroom Building
 This classroom is a modular building that was put on the site in 2000. The building currently does not have any water or plumbing lines.

5. Bathroom Building
 The bathroom building has received some accessibility upgrades to the adult bathrooms but the children bathrooms have not been upgraded with exception to the thresholds all being compliant.

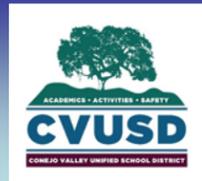
6. Playground
 The playground area is much smaller than most schools, but a large playground area is not needed as much with pre school children who are receiving more direct supervision. The existing play equipment is relatively new.

7. Parking
 The parking is sufficient to supply the needs of the campus. However the ADA stalls are not current with accessibility standards.



Technology Summary:

Information to be proved by CVUSD Technology Department



Horizon Hills School | *Survey*

33 Greta Street | Thousand Oaks, ca 91360

Conejo Valley Unified School District

November 1, 2016 Draft v1

Campus Technology

DRAFT v1

13.0

Observations Summary:

Conejo Valley Horizon Hills School has a unique educational program that gives parents the opportunity to be a big part of their children's early education while at the same time being educated on proper parenting techniques. They offer programs in pre-birth planning, parent work shops and many other diverse programs in conjunction with a preschool environment where children from just a few months to 5 years can learn and grow together. This great magnet program to the district that has been seeing declining enrollment for the past several years. The program creates a relationship with the parents of these children and the school district that will then encourage them to remain in the school district for the remaining of the child's k-12 educational experience.

The school has not received any major updates or improvements in the past 10 years and the current state of the roof and HVAC system is in need of attention. One of the biggest challenges to the site that should be addressed is the roof drainage issue as this can lead to an increasing rate of building deterioration. In addition the electrical system is at full capacity and with the increasing technological demands of the future the need to improve the electrical systems is becoming increasingly more important.

One of the biggest concerns of the faculty at the school is the need for plumbing in the modular classroom building which they currently will carry large buckets or water to supply the classroom with water for the children for their arts and crafts.

The site is wonderfully landscaped and presents a realizing and enjoyable atmosphere where children can play and learn while being well protected from the sun. To enhance the aesthetics of the school, an improved entry to the upper portion of the campus, would help improve way finding from the street for new students as well as the overall feel of the campus itself.

